



*city of*  
**Ankeny**

*bringing it all together*

# WELCOME

## ANKENY AREA CONTRACTORS

Thank you for being here  
today!

# CITY OF ANKENY CONSTRUCTION & DEVELOPMENT PERSONNEL

- Carmen Santee, Permits Clerk
- Lori Peterson, Permits Clerk
- Kathy Dozler, Permits Specialist
- Eric Clark, Combination Inspector I
- Michael Villamagna, Combination Inspector I
- Craig Larsen, Combination Inspector II
- Jerry Agan, Combination Inspector III
- John Cabeen, Code Enforcement Officer II
- Dennis Neff, Civil Engineering Technician
- Samantha Hayden, Civil Engineer II
- Don Clark, Civil Engineer II
- Jeff Junker, Building & Zoning Administrator
- Eric Carstens, Planning Administrator
- Emily Bodeker, Planner I
- Julie Gould, Associate Planner
- Deb Gervais, Associate Planner
- Eric Jensen, Director of Planning & Building
- Jared Bright, Storm Water Coordinator

# New Permitting System

- The City of Ankeny has recently acquired a new permitting software system - LAMA.
- Thank you for your patience during implementation and ongoing transition.
- Permit issuance approvals are being emailed to you – if you are not receiving please check your bulk-junk-spam folders.
- Let us know of any issues.

# New Permitting System

- Future capability of “live-time, on-line” permit status
- Future capability of “live-time, on-line” inspection status etc
- Future on-line submittals.
- Future credit card payments.
- Something to look forward to.

# PERMIT FEE SCHEDULE

- Building permit fees will be increasing slightly on July 1, 2015, based on the February ICC Building Valuation Data - anticipate annual update of ICC BVD and review of fee table

# SINGLE FAMILY PERMIT FEE (example)

- Single family ranch style dwelling
  - 2,000 square foot main floor
  - 1,000 square foot finished basement
  - 1,000 square foot unfinished basement
  - 720 square foot attached garage

Current dwelling valuation - \$296,022

Current building permit fee - \$1,466

July 1, 2015 valuation - \$301,498

July 1, 2015 building permit fee – \$1,485

Difference – \$19

# PERMIT FEE SCHEDULE

- **All** Temporary Certificates of Occupancy will incur a fee of \$50
- *Payment is required prior to issuance of any Temporary Certificate of Occupancy.*
- *Temporary Certificates of Occupancy are not anticipated for other than winter-build conditions \* complete your projects before calling for a final inspection*

# PERMIT FEE SCHEDULE

- Re-inspections (more than one – same project/items) will incur a fee of \$50 per re-inspect
- *Payment is required prior to any additional inspections.*
  - Re-inspection requests for framing and/or final inspections will not be accepted when requesting the initial framing or final inspection.



# PERMIT HOLDERS YOU ARE RESPONSIBLE FOR YOUR PROJECTS

- **175.13 SUBSECTIONS 105.6.1 AND R105.6.1 ADDITION - - REVOCATION OF PERMIT.** Subsections 105.6.1 Revocation of Permit, of the IBC and R105.6.1, Revocation of Permit, of the IRC, are hereby established by adding the following subsections:
- 
- Subsections 105.6.1 and R105.6.1 Revocation of Permit It is the responsibility of the permit holder to schedule the required inspections and obtain final approval. **Failure to schedule the required inspections and receive approval** of work authorized by the permit before covering said work or at completion shall result in revocation of the permit and void any associated approvals granted by the City. This failure shall also equate to working without a permit in violation of City ordinance and no future permits shall be issued to any person or company who has outstanding violations of this code or any other laws or ordinances of the City. **Failure to contact the City for any inspection or follow-up prior to expiration of a permit** shall be deemed a violation of this code section. **Failure to contact the City for any inspection or follow-up prior to expiration of a Temporary Certificate of Occupancy** shall also be deemed a violation of this code section. **Allowing occupancy of a structure**, for which a person or company holds a building permit, prior to or **without a valid Certificate of Occupancy (temporary or final) shall be deemed a violation of this code section and no future permits shall be issued to any person or company who has outstanding violations of this code or any other laws or ordinances of the City.**

# PERMIT HOLDERS YOU ARE RESPONSIBLE FOR YOUR PROJECTS

- **175.13 SUBSECTIONS 105.6.1 AND R105.6.1 ADDITION - - REVOCATION OF PERMIT.**

Subsections 105.6.1 Revocation of Permit, of the IBC and R105.6.1,

- If you have projects on a Temporary Certificate of Occupancy have them completed and call for a final inspection before May 30<sup>th</sup> of this year -or- before the expiration date, whichever is applicable!
- Expired Temporary Certificates of Occupancy are grounds for no more permits to be issued.

# ANKENY CODES

## CURRENT

- Ankeny Municipal Code
- SUDAS
- 2012 International Residential Code
- 2012 International Building Code
- 2012 International Fire Code
- 2012 International Mechanical Code
- 2012 Uniform Plumbing Code
- 2012 International Property Maintenance Code
- 2012 International Energy Conservation Code (as State adopted)
- 2014 National Electric Code (as State adopted)

# ANKENY/METRO CODES

ANTICIPATE Spring, 2016

- Ankeny Municipal Code
- 2015 International Residential Code
- 2015 International Building Code
- 2015 International Existing Building Code
- 2015 International Fire Code
- 2015 International Mechanical Code
- 2015 Plumbing Code
- 2015 International Fuel Gas Code
- 2015 International Energy Conservation Code
- 2015 International Property Maintenance Code
- 2015 International Swimming Pool & Spa Code
- 2014 National Electric Code

# ONGOING ISSUES

## PERMIT SUBMITTAL and APPROVAL RELATED

# Checklist for a Complete Application

- ✓ **Complete and Accurate** Application Form
- ✓ Complete Construction Plans
- ✓ Site Plan Showing Easements
- ✓ Site Plans Showing **Actual** Setbacks
- ✓ Manual 'D' and 'J' Documentation
- ✓ REM/Rate if using performance path
- ✓ REScheck if using tradeoff approach
- ✓ COSESCO/Site Erosion Control Plan
- ✓ Special Forms (Flood Plain or MPE)
  - ✓ Make sure all information and signatures are legible

# Permit Applications

- Application submittals are not acceptable unless compliance with all submittal requirements is met.
- Application submittals that are incomplete, inaccurate or illegible will be returned to the applicant without further review.
- Setbacks must be input on the application and must be actual dimensions.
- Include square footages of covered stoops, porches, decks or any other building element.
- New application forms are available on the web and at our office – use them.

# Permit Application Approval

IF **ALL** required information submitted is **COMPLETE** and **ACCURATE**

-expect-

A **MINIMUM** of 5 FULL WORKING DAYS FOR REVIEW AND APPROVAL

-anticipate-

**MORE** than 5 FULL WORKING DAYS FOR REVIEW AND APPROVAL

**city of Ankeny**  
bringing it all together

Residential Building Application  
New Dwelling Unit

Project Address: \_\_\_\_\_

Legal description: \_\_\_\_\_ Zoning: \_\_\_\_\_

Applicant is: ☐ Property Owner ☐ Contractor ☐ Architect ☐ Engineer ☐ Other \_\_\_\_\_

Applicant \_\_\_\_\_ E-mail \_\_\_\_\_

Address \_\_\_\_\_ Phone # \_\_\_\_\_

Contractor \_\_\_\_\_ E-mail \_\_\_\_\_

Address \_\_\_\_\_ Phone # \_\_\_\_\_

☐ Single Family Detached ☐ Duplex ☐ Single Family Attached # of units: \_\_\_\_\_ ☐ Multi-Family # of units: \_\_\_\_\_

☐ Townhomes ☐ Condominiums ☐ Apartments ☐ Owner Occupied ☐ Rental

Lot Sq Ft: \_\_\_\_\_ # of Stories: \_\_\_\_\_ 1<sup>st</sup> Floor Sq Ft: \_\_\_\_\_ 2<sup>nd</sup> Floor Sq Ft: \_\_\_\_\_ 3<sup>rd</sup> Floor Sq Ft: \_\_\_\_\_

Basement-Unfinished Sq Ft: \_\_\_\_\_ Basement-Finished Sq Ft: \_\_\_\_\_ Walkout: Yes -or- No

Garage Sq Ft: \_\_\_\_\_ Covered Porch/Stoop/Deck Sq Ft: \_\_\_\_\_ Open Deck Sq Ft: \_\_\_\_\_

Multi-Family Parking: Total # of Stalls: \_\_\_\_\_ Handicapped # Stalls: \_\_\_\_\_

Setbacks (actual): Front \_\_\_\_\_ Left Side \_\_\_\_\_ Right Side \_\_\_\_\_ Rear \_\_\_\_\_

Is this property in a flood plain? ☐ No ☐ Yes Minimum Elevation \_\_\_\_\_

Architectural Review Board (ARB) approval required? ☐ No ☐ Yes ARB Case # \_\_\_\_\_

Attachments: ☐ Site Drawing ☐ Footing/Foundation Drawing ☐ Wall Section Showing Components ☐ Floor Plan

☐ Energy Code Review (MEC, RES) ☐ Flood Plain Permit (if required) ☐ Septic Permit (if required) ☐ COSECO/SWPPP

☐ Y ☐ N Are perimeter erosion control measures in-place at this time? (if no, please call to request inspection when installed)

Plumbing Contractor: \_\_\_\_\_

Electrical Contractor: \_\_\_\_\_

Mechanical Contractor: \_\_\_\_\_

Easements (for office use only): \_\_\_\_\_

Notice: Separate permits are required for electrical, plumbing, heating, ventilation or air conditioning. This permit expires 12 months from the date of issuance. The undersigned warrants that he/she has reviewed and is familiar with the provisions of the building and fire codes; as set forth under Chapters 175 and 180 of the Municipal Code of the City and all applicable zoning standards and will defend, indemnify, protect and save harmless the City and its employees from any and all liability, from any claim or cause of action which any person may have or claim to have by reason of any actual or alleged failure on the part of the undersigned to comply with the terms and provision thereof. I hereby certify that I have read and examined this application and its attachments and know the same to be complete, true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. I agree to adhere to the plans as submitted and approved by the Architectural Review Board and City Staff and will provide notification of any change prior to construction. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction. **My signature below verifies that I understand the above and that perimeter erosion control measures are now in place -or- I will request an inspection when installed, as indicated above.**

Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_

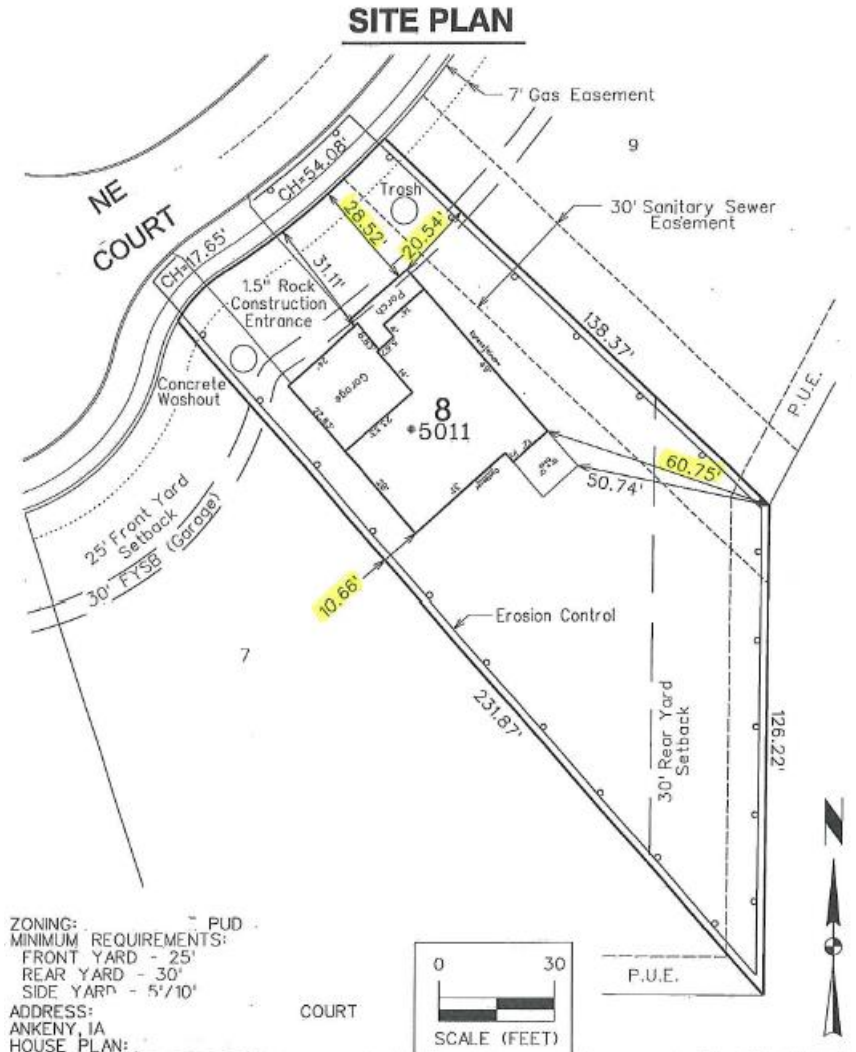
**ALLOW A MINIMUM OF 5 FULL WORKING DAYS FOR PERMIT REVIEW AND APPROVAL**

Date received _____	Permit Fee \$ _____	Office Use Only
Approval Notification Date _____	Valuation \$ _____	



# SFD Site Plans

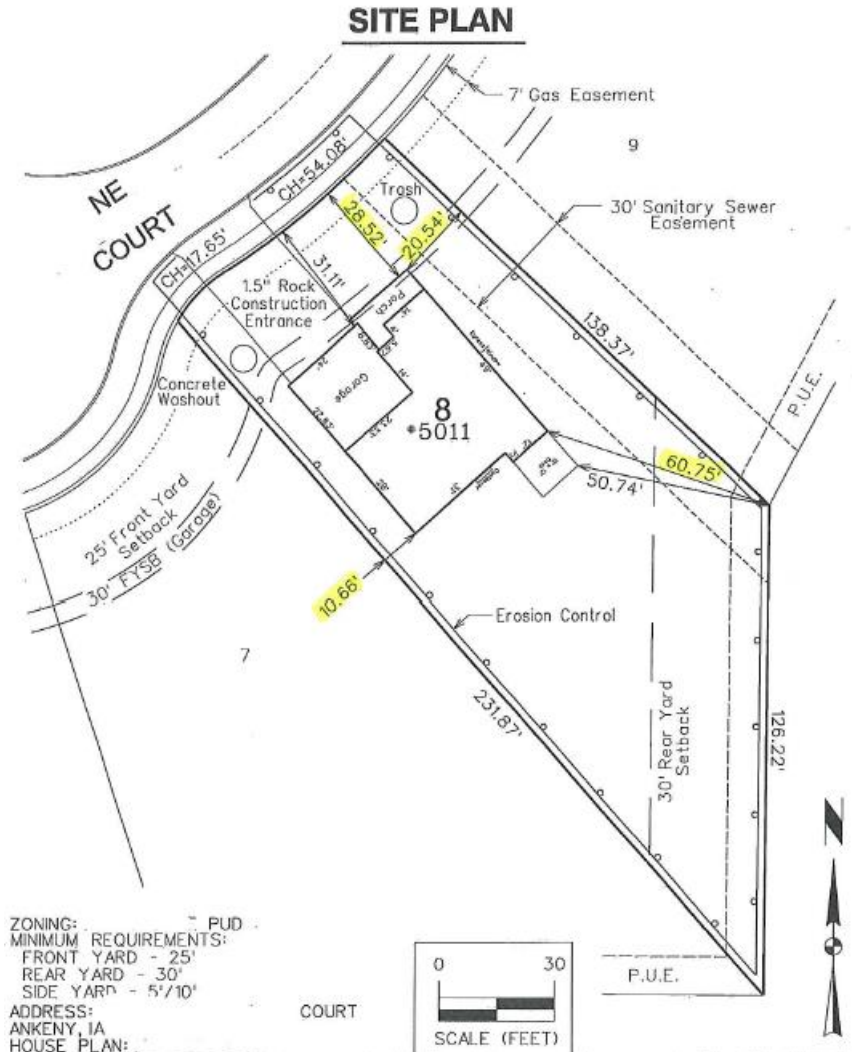
- Site plans should be fully dimensioned and provided on an 8 ½" x 11" sheet.
- Include all building elements such as decks, porches etc (show what you intend to build and where) as well as driveway width.
- This information will become part of the GIS mapping system of the City.



# SFD Site Plans

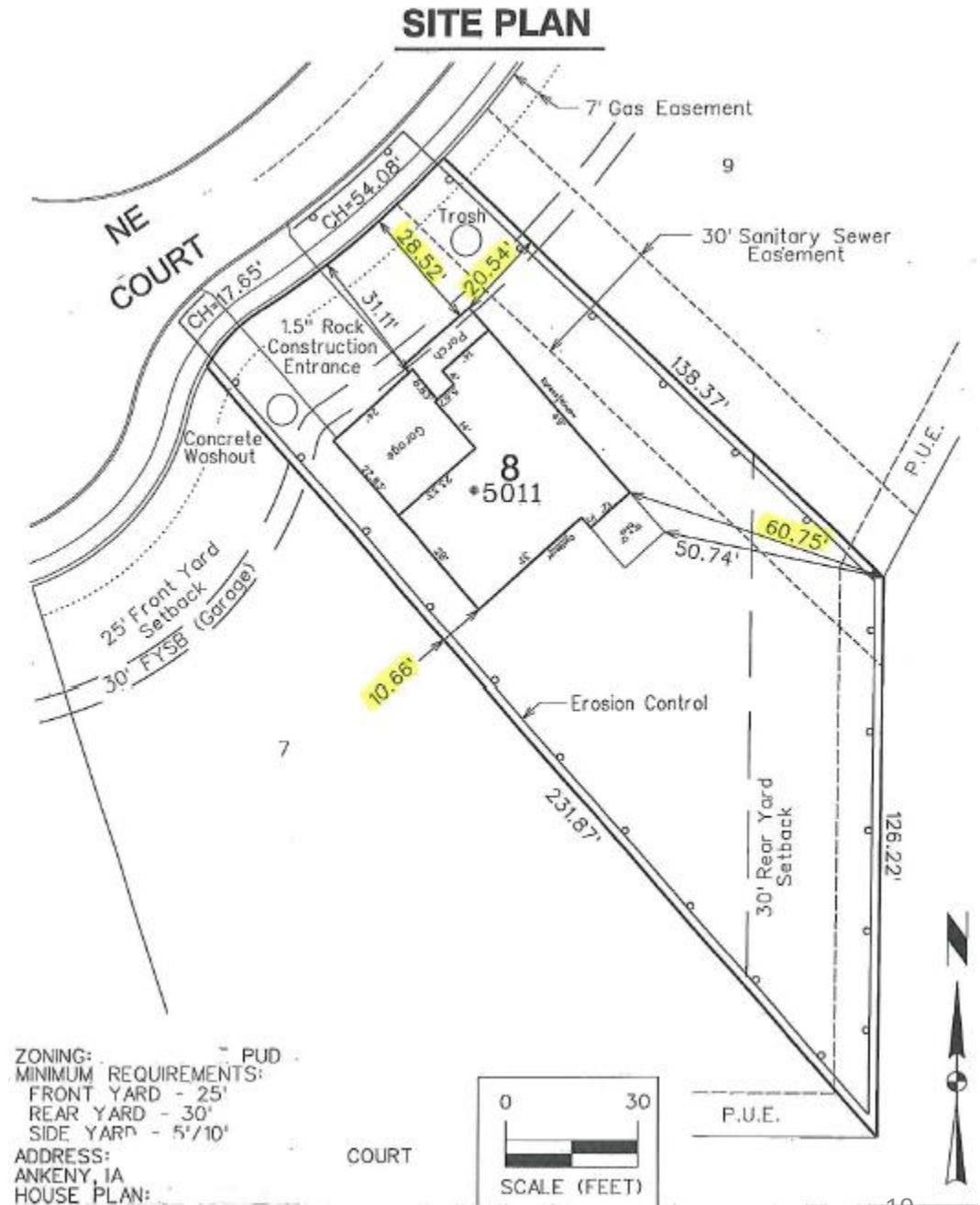
- In addition please anticipate including the following:
  - water main valve boxes
  - manholes
  - Intakes
  - sidewalk - dimension from back of curb
  - sidewalk width
  - Trail width (as applicable)
  - Topography

The more complete and accurate your site plans are, the less opportunity for error.



# Setbacks

Provide **ACTUAL**  
setback dimensions  
on your permit apps





# Site Plan – Setbacks and Covered Decks/Porches/Stoops

Required rear yard setback



04.24.2013 10:12

# Driveways

SUDAS establishes the width and construction of driveways.

Typical single family dwelling lots driveways are limited to a maximum width at the sidewalk of 24'.

Note: Prairie Trail has different and specific requirements.





# Driveways

SUDAS establishes the width and construction of driveways.

For other than single family dwelling lots and two family dwelling lots driveway widths will be as determined by the Ankeny Public Works Department Development Engineering Division as shown on approved site plans.



# Trades' Registration and Licensing - Mechanical, Electrical, Plumbing

- In order to acquire permits you must:
  1. Provide a complete and accurate “[2015 Trade Contractor Registration Application](#)”
  2. Hold a valid State of Iowa Contractor's license along with a valid Master's license for said Contractor's license
  3. Be registered with Iowa Workforce Development
  4. Provide list of authorized agents who may sign permit applications

# Trades' Registration and Licensing



2014 *Registration Application*  
Trade Contractors

State Contractor's License # →

Iowa Workforce Development # →

State Master license # →

Authorized agents who may sign permit apps →

Applicants signature and printed name →

Shop Name: \_\_\_\_\_

State of Iowa Contractor License ID # \_\_\_\_\_ (Exp.Date) \_\_\_\_\_

Iowa Workforce Development Contractor's Registration # \_\_\_\_\_

Trade: ☐ Electrical ☐ Mechanical ☐ Plumbing *A separate application form is required for each trade registration!*

Address \_\_\_\_\_ City, State Zip \_\_\_\_\_

Business Phone # \_\_\_\_\_ Mobile Phone # \_\_\_\_\_

E-mail Address \_\_\_\_\_

## Requirements:

- ☐ All contractors performing construction work must be registered with the Division of Labor
- ☐ All electrical, plumbing & mechanical contractors must hold a current license with the State of Iowa.

## Master License(s) (name as it appears on State of Iowa License)

Name: \_\_\_\_\_ State License # \_\_\_\_\_  
☐ Electrician Master A ☐ Electrician Master B ☐ Plumbing ☐ HVAC ☐ Refrigeration ☐ Hydronics

Name: \_\_\_\_\_ State License # \_\_\_\_\_  
☐ Electrician Master A ☐ Electrician Master B ☐ Plumbing ☐ HVAC ☐ Refrigeration ☐ Hydronics

## Agent(s) authorized to submit & sign for permits:

Full Name: \_\_\_\_\_ Title \_\_\_\_\_

Full Name: \_\_\_\_\_ Title \_\_\_\_\_

Full Name: \_\_\_\_\_ Title \_\_\_\_\_

*Applicant, you are responsible for keeping our office updated with current information.*

Applicant's Signature: \_\_\_\_\_ Title \_\_\_\_\_

Applicant's Printed name: \_\_\_\_\_

Applicant's e-mail address: \_\_\_\_\_

Date: \_\_\_\_\_

Office Use: Date verified: \_\_\_\_\_ by: \_\_\_\_\_

☐ scanned \_\_\_\_\_ ☐ entered in Permit Plan \_\_\_\_\_



# Common Email Address

- For electronic submission of documents, rather than forwarding to an individual, use the following account:
- [energyinfo@ankenyiowa.gov](mailto:energyinfo@ankenyiowa.gov)
- For energy audits, duct layouts, equipment sizing etc.
- Do not send directly to City staff unless specifically requested!

# Erosion Control Measures

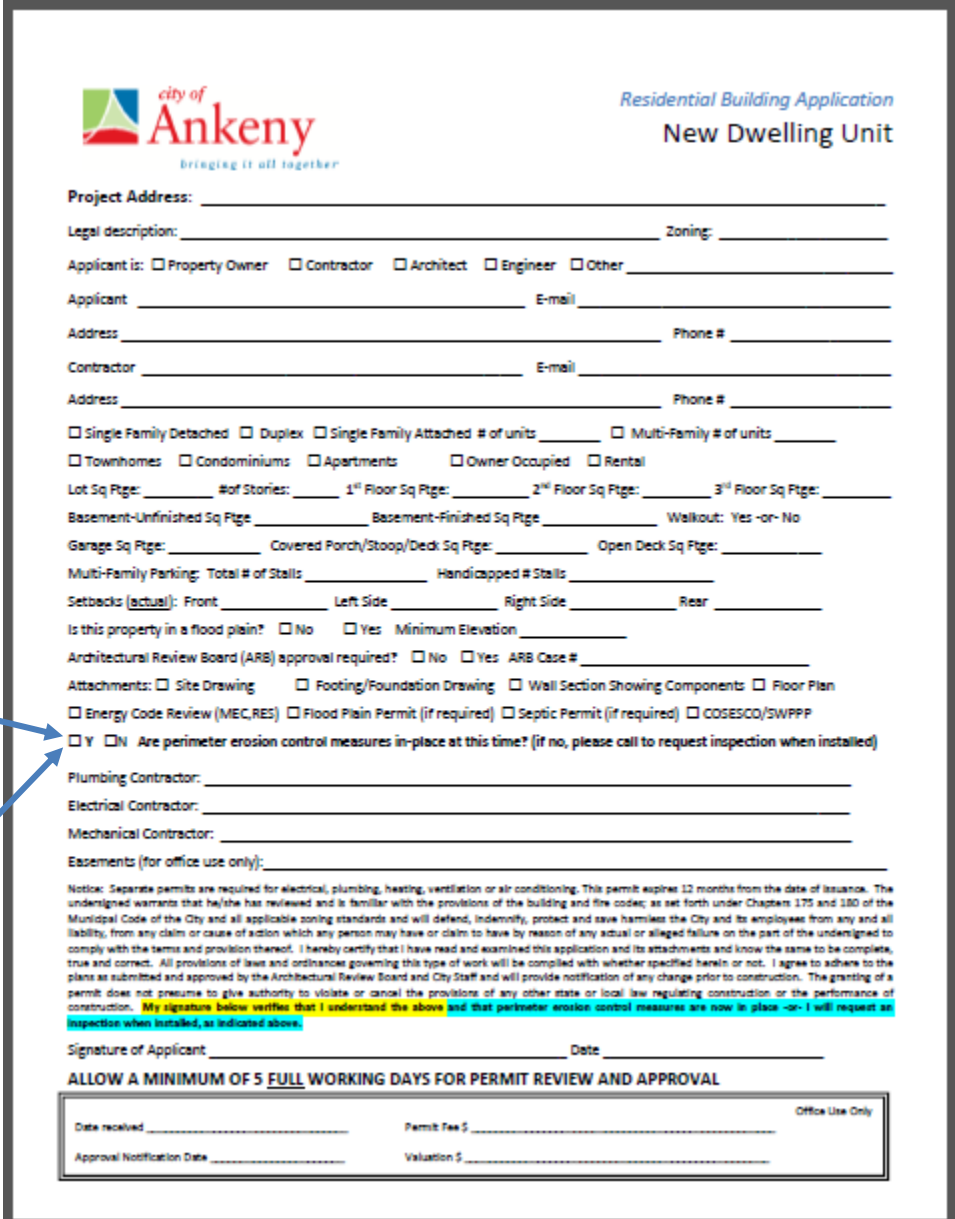
Erosion control measures must be in place before any disturbance and before a permit will be approved.

Have erosion control measures in place when you drop off your app and we'll take it from there.

-Or-

Call to schedule an erosion control inspection when they are installed.

You must have your application submitted prior to any erosion control inspection or inspection request.



The image shows a 'Residential Building Application' form from the City of Ankeny. The form is titled 'New Dwelling Unit' and includes various fields for project information, applicant details, and property specifications. Two blue arrows point from the text 'Call to schedule an erosion control inspection when they are installed.' to the 'Are perimeter erosion control measures in-place at this time?' checkbox and the 'Inspection when installed, as indicated above.' text.

**city of Ankeny**  
bringing it all together

*Residential Building Application*  
**New Dwelling Unit**

Project Address: \_\_\_\_\_

Legal description: \_\_\_\_\_ Zoning: \_\_\_\_\_

Applicant is: ☐ Property Owner ☐ Contractor ☐ Architect ☐ Engineer ☐ Other \_\_\_\_\_

Applicant \_\_\_\_\_ E-mail \_\_\_\_\_

Address \_\_\_\_\_ Phone # \_\_\_\_\_

Contractor \_\_\_\_\_ E-mail \_\_\_\_\_

Address \_\_\_\_\_ Phone # \_\_\_\_\_

☐ Single Family Detached ☐ Duplex ☐ Single Family Attached # of units \_\_\_\_\_ ☐ Multi-Family # of units \_\_\_\_\_

☐ Townhomes ☐ Condominiums ☐ Apartments ☐ Owner Occupied ☐ Rental

Lot Sq Ft: \_\_\_\_\_ # of Stories: \_\_\_\_\_ 1<sup>st</sup> Floor Sq Ft: \_\_\_\_\_ 2<sup>nd</sup> Floor Sq Ft: \_\_\_\_\_ 3<sup>rd</sup> Floor Sq Ft: \_\_\_\_\_

Basement-Unfinished Sq Ft: \_\_\_\_\_ Basement-Finished Sq Ft: \_\_\_\_\_ Walkout: Yes -or- No

Garage Sq Ft: \_\_\_\_\_ Covered Porch/Stoop/Deck Sq Ft: \_\_\_\_\_ Open Deck Sq Ft: \_\_\_\_\_

Multi-Family Parking: Total # of Stalls \_\_\_\_\_ Handicapped # Stalls \_\_\_\_\_

Setbacks (actual): Front \_\_\_\_\_ Left Side \_\_\_\_\_ Right Side \_\_\_\_\_ Rear \_\_\_\_\_

Is this property in a flood plain? ☐ No ☐ Yes Minimum Elevation \_\_\_\_\_

Architectural Review Board (ARB) approval required? ☐ No ☐ Yes ARB Case # \_\_\_\_\_

Attachments: ☐ Site Drawing ☐ Footing/Foundation Drawing ☐ Wall Section Showing Components ☐ Floor Plan

☐ Energy Code Review (MEC, RES) ☐ Flood Plain Permit (if required) ☐ Septic Permit (if required) ☐ COSESCO/SWPPP

☐ Y ☐ N Are perimeter erosion control measures in-place at this time? (if no, please call to request inspection when installed)

Plumbing Contractor: \_\_\_\_\_

Electrical Contractor: \_\_\_\_\_

Mechanical Contractor: \_\_\_\_\_

Easements (for office use only): \_\_\_\_\_

Notice: Separate permits are required for electrical, plumbing, heating, ventilation or air conditioning. This permit expires 12 months from the date of issuance. The undersigned warrants that he/she has reviewed and is familiar with the provisions of the building and fire codes; as set forth under Chapters 175 and 180 of the Municipal Code of the City and all applicable zoning standards and will defend, indemnify, protect and save harmless the City and its employees from any and all liability, from any claim or cause of action which any person may have or claim to have by reason of any actual or alleged failure on the part of the undersigned to comply with the terms and provision thereof. I hereby certify that I have read and examined this application and its attachments and know the same to be complete, true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. I agree to adhere to the plans as submitted and approved by the Architectural Review Board and City Staff and will provide notification of any change prior to construction. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction. My signature below certifies that I understand the above and that perimeter erosion control measures are now in place -or- I will request an inspection when installed, as indicated above.

Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_


**ALLOW A MINIMUM OF 5 FULL WORKING DAYS FOR PERMIT REVIEW AND APPROVAL**

Date received _____	Permit Fee \$ _____	Office Use Only
Approval Notification Date _____	Valuation \$ _____	

# Erosion Control Measures

If you do not have erosion control measures in place when you drop off your permit application submittal

IT IS YOUR RESPONSIBILITY TO CALL FOR THE INSPECTION WHEN THEY ARE INSTALLED!!!!!!!!!!!!

 *city of*  
**Ankeny**  
bringing it all together

*Residential Building Application*  
**New Dwelling Unit**

Project Address: \_\_\_\_\_

Legal description: \_\_\_\_\_ Zoning: \_\_\_\_\_

Applicant is: ☐ Property Owner ☐ Contractor ☐ Architect ☐ Engineer ☐ Other \_\_\_\_\_

Applicant \_\_\_\_\_ E-mail \_\_\_\_\_

Address \_\_\_\_\_ Phone # \_\_\_\_\_

Contractor \_\_\_\_\_ E-mail \_\_\_\_\_

Address \_\_\_\_\_ Phone # \_\_\_\_\_

☐ Single Family Detached ☐ Duplex ☐ Single Family Attached # of units \_\_\_\_\_ ☐ Multi-Family # of units \_\_\_\_\_

☐ Townhomes ☐ Condominiums ☐ Apartments ☐ Owner Occupied ☐ Rental

Lot Sq Ft: \_\_\_\_\_ # of Stories: \_\_\_\_\_ 1<sup>st</sup> Floor Sq Ft: \_\_\_\_\_ 2<sup>nd</sup> Floor Sq Ft: \_\_\_\_\_ 3<sup>rd</sup> Floor Sq Ft: \_\_\_\_\_

Basement-Unfinished Sq Ft: \_\_\_\_\_ Basement-Finished Sq Ft: \_\_\_\_\_ Walkout: Yes -or- No

Garage Sq Ft: \_\_\_\_\_ Covered Porch/Stoop/Deck Sq Ft: \_\_\_\_\_ Open Deck Sq Ft: \_\_\_\_\_

Multi-Family Parking: Total # of Stalls \_\_\_\_\_ Handicapped # Stalls \_\_\_\_\_

Setbacks (actual): Front \_\_\_\_\_ Left Side \_\_\_\_\_ Right Side \_\_\_\_\_ Rear \_\_\_\_\_

Is this property in a flood plain? ☐ No ☐ Yes Minimum Elevation \_\_\_\_\_

Architectural Review Board (ARB) approval required? ☐ No ☐ Yes ARB Case # \_\_\_\_\_

Attachments: ☐ Site Drawing ☐ Footing/Foundation Drawing ☐ Wall Section Showing Components ☐ Floor Plan

☐ Energy Code Review (MEC, RES) ☐ Flood Plain Permit (if required) ☐ Septic Permit (if required) ☐ COSESCO/SWPPP

☐ Y ☐ N Are perimeter erosion control measures in-place at this time? (if no, please call to request inspection when installed)

Plumbing Contractor: \_\_\_\_\_

Electrical Contractor: \_\_\_\_\_

Mechanical Contractor: \_\_\_\_\_

Easements (for office use only): \_\_\_\_\_

Notice: Separate permits are required for electrical, plumbing, heating, ventilation or air conditioning. This permit expires 12 months from the date of issuance. The undersigned warrants that he/she has reviewed and is familiar with the provisions of the building and fire codes; as set forth under Chapters 175 and 180 of the Municipal Code of the City and all applicable zoning standards and will defend, indemnify, protect and save harmless the City and its employees from any and all liability, from any claim or cause of action which any person may have or claim to have by reason of any actual or alleged failure on the part of the undersigned to comply with the terms and provision thereof. I hereby certify that I have read and examined this application and its attachments and know the same to be complete, true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. I agree to adhere to the plans as submitted and approved by the Architectural Review Board and City Staff and will provide notification of any change prior to construction. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction. My signature below verifies that I understand the above and that perimeter erosion control measures are now in place -or- I will request an inspection when installed, as indicated above.

Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_

**ALLOW A MINIMUM OF 5 FULL WORKING DAYS FOR PERMIT REVIEW AND APPROVAL**

Date received _____	Permit Fee \$ _____	Office Use Only
Approval Notification Date _____	Valuation \$ _____	

# ONGOING ISSUES

## INSPECTION SCHEDULING RELATED

# Field Activities

- WITHOUT AT LEAST A 24 HOUR INSPECTION REQUEST NOTICE WE CANNOT GUARANTEE ANY INSPECTIONS AT YOUR CONVENIENCE!
- **48 HOUR (two working days) MINIMUM NOTICE IS REQUIRED FOR ALL FRAMING AND FINAL INSPECTIONS!**
- City staff will coordinate ALL inspection timing!
- All inspection requests must be made through the inspection request desk @ 963-3533!

# Field Activities

- WITHOUT AT LEAST A 24 or 48 HOUR INSPECTION REQUEST NOTICE DEPENDING ON THE TYPE OF INSPECTION WE CANNOT GUARANTEE ANY INSPECTIONS AT YOUR CONVENIENCE!
  - Once an inspection is scheduled it may not be switched to another address or time slot during the same day.
  - Switching times or addresses of previously scheduled inspections will require re-scheduling for a future point in time and no less than 24 or 48 hours thereafter.
  - Coordinate your inspection activities and plan ahead accordingly.

# Inspections For Certificates of Occupancy

- Inspections and review occur by many Divisions' and Departments' personnel.
- **Same day final inspections and closings do not afford adequate time to address deficiencies and subsequent corrections nor adequate time for issuance of Certificates of Occupancy.**
- Plan ahead to allow time for adequate preparation. **A MINIMUM OF 48 HOURS (TWO WORKING DAYS) IS REQUIRED FOR FINAL INSPECTION SCHEDULING REQUESTS!**

# Final Inspections – Building Division Related

- Prior to calling for final inspection
  - Confirm all work is complete and documentation is provided
    - Building
    - Plumbing
    - Electrical
    - Mechanical
    - Energy Compliance Certificate From HERS Rater
    - MPE #2 Documentation as applicable
    - FEMA As-Built Documentation as applicable
    - Water meter set



# Final Inspections – Development Engineering Division Related

- Prior to calling for final inspection
  - Confirm all work is complete
    - Site grading, sod and landscaping
      - Established vegetation
      - Drainage Swales
    - Sidewalks and driveways
  - Confirm infrastructure is intact and working
    - Curb boxes, cleanouts, manholes etc
      - Infrastructure needing repair will hold up your Final C.O.

# Final Inspections – Planning Division Related

- Prior to calling for final inspection
  - Confirm all work is complete
    - Berms
    - Landscaping
    - Trees
    - Shrubs
  - Typically these requirements exist in PUD's and/or along major streets
- Please make the call before you request a final inspection if you are unsure or have questions.

# Final Inspections – Stormwater Division Related

- Prior to calling for final inspection
  - Confirm all work is complete
    - Don't forget the *required topsoil!*
    - Site grading, sod and landscaping
      - Established vegetation
      - Drainage Swales
    - All erosion control measures removed from the site
  - Erosion control measures shall be reinstalled after final grading (as applicable) and shall be maintained until the lot is permanently vegetated.

# Final Inspections and Final Certificates of Occupancy

A Final Certificate of Occupancy may be issued upon confirmation that all construction and zoning codes are compliant including trees and landscaping, infrastructure elements are approved, lot is fully stabilized and erosion control features are removed.

- All items must be complete
  - Building
  - Development Engineering
  - Planning
  - Stormwater

# Final Inspections and Temporary Certificates of Occupancy

## Temporary Certificate of Occupancy (\$50)

- A temporary Certificate of Occupancy is valid for **no more than twenty one days** except during winter months.
- **Other than Winter-build**
  - A temporary Certificate of Occupancy may be offered only if all construction is complete, zoning codes are compliant including trees and landscaping, and all erosion control measures are compliant and maintained in-place.

Trees, shrubs, berms and other required landscape features are required to be installed at the time of final inspection. - - **NO TEMP CO's WILL BE ISSUED WITHOUT REQUIRED LANDSCAPING INSTALLED**

# Final Inspections and Temporary Certificates of Occupancy

## Temporary Certificate of Occupancy (\$50)

- A temporary Certificate of Occupancy is valid for **no more than twenty one days** except during winter months.
- **Winter-Build**
  - Only site related cold weather constraints such as exterior slab on grade concrete, sod and required trees/landscaping will afford the opportunity to acquire a Temporary Certificate of Occupancy.

# Final Inspection Requests

- **Minimum 48 hour (two working days) inspection request notice required**
- Final inspection and closing on the same day creates difficulties.
- **Do not expect same day C.O. issuance.**
- Please plan ahead!



**CITY OF ANKENY**  
*bringing it all together*

**CERTIFICATE OF OCCUPANCY & USE**

PURSUANT TO REQUIREMENTS OF THE MUNICIPAL CODE OF THE CITY OF ANKENY, THE PROPERTY IDENTIFIED BELOW MAY BE LEGALLY USED IN THE MANNER DESCRIBED.

**BUILDING ADDRESS:** 1313 MAIN  
**LEGAL DESCRIPTION:**

This certificate is issued pursuant to the requirements of the Municipal Code of the City of Ankeny and other applicable ordinances certifying that, at the time of issuance this structure is in compliance with the adopted construction codes and zoning ordinance for the use and work specified in the following permit.

Building Permit Number: RI D2006-00898	Use Classification: Single Family Residential
Type of Work: NEW/REBUILDING	Zoning: Single
Permit Applicant: BUILDER	Type of Construction:
Property Owner:	Design: Custom/Land
	Spillage System: Provided
	Sprinkler System: Required

No change of use may be made at this location unless a new Certificate of Occupancy & Use is granted for such use and no change in this building may be made without first consulting the Community Development Department.

**SPECIAL STIPULATIONS AND CONDITIONS**

Jeff Juecker, Building & Zoning Administrator \_\_\_\_\_ Date: \_\_\_\_\_

City of Ankeny Community Development Department - 220 West First Street - Ankeny, IA 50021-1751

# Certificate of Occupancy

- Required prior to occupancy
  - Please allow time for the final inspection and any corrections to be made and re-inspected and confirmed and the C.O. to be processed.
  - Occupancy without a valid Certificate of Occupancy is grounds for no more permits to be issued.
  - **Do not expect same day C.O. issuance.**



# ONGOING FIELD ISSUES

## BUILDING/CONSTRUCTION RELATED

# ILLEGAL SIGNS IN THE R-O-W

## Ankeny Ordinance 195

195.05 #6. Open house, for sale and garage sale signs, and the like may not be placed within street rights-of-way, easements, roadway surface, sidewalks, medians, and decorative surfaces, or within 300 feet of major arterial street intersections. Any sign so placed is a nuisance and traffic hazard and is hereby determined to be in violation of the sign regulations.

**Illegal signs will be pulled!**



# ILLEGAL SIGNS IN THE R-O-W

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**Illegal signs will be pulled!**





# YOUR HELP IS NEEDED

- Site Activity

*-Trash -*

- *Maintain  
Your Sites*

# 2014 National Electric Code

- GFCI Protection Expanded

To all receptacles within 6' of sinks, showers, laundry areas, dishwashers etc AND to be readily accessible





# 2014 National Electric Code

- GFCI Protection Expanded

To all receptacles within 6' of sinks, showers, laundry areas, dishwashers etc AND to be readily accessible



# 2014 National Electric Code

- GFCI Protection Expanded

To include all 125V  
15- and 20-amp  
receptacles in dwelling  
unit laundry areas  
whether or not a sink  
exists.





# 2014 National Electric Code

- AFCI Protection Expanded
- Combination AFCI/GFCI protection required

To include kitchens and laundries AND to be readily accessible





# 2014 National Electric Code

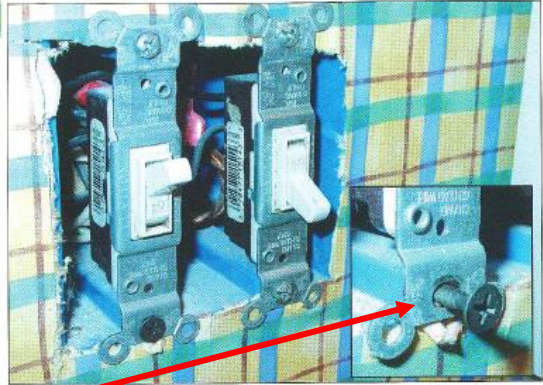
- Devices and Covers

Drywall screws are not allowed

## 314.25

### Change at a Glance

Drywall screws are not permitted to be used to attach box covers or other equipment fastened to a box. Cover and canopy screws need to be suitable for this purpose.



**REVISION**

#### Code Language

**314.25 Covers and Canopies**  
In completed installations, each box that has a cover, faceplate, lampholder, or luminaire canopy, except where the installation complies with 410.24(B), screws used for the purpose of attaching covers or other equipment to the box, shall be either machine screws matching the thread gauge or size that is integral to the box or shall be in accordance with the manufacturer's instructions.

#### Proposal 9-55

#### 2011 NEC Requirement

The requirement at 314.25 generally required boxes to have covers, faceplates, etc., installed for a complete installation; but the means of attachment for these covers was not addressed.

#### 2014 NEC Change

A new sentence was added at the end of 314.25 addressing the attachment means for covers or other equipment attached to a box. Screws used for this purpose are now required to be either machine screws matching the thread gauge or of a size that is integral to the box. The screws and attachment process can also be installed in accordance with the manufacturer's instructions.

#### Analysis of Change

The use of screws not designed for the purpose, such as drywall screws, for attaching covers, luminaires, or other equipment to boxes has become a concern in the electrical industry. This practice is unacceptable and can result in damage to the box and inadequate support of the attached luminaire or equipment itself. Installers should always follow the manufacturer's installation instructions, but having Code language against this practice will help ensure proper support. The language to recognize that the screws or support means "be in accordance with the manufacturer's instructions" was inserted into this requirement to take into consideration nonmetallic products that do not have a thread form molded or machined into the attachment holes. The product standards for nonmetallic outlet boxes (UL 514C, *Standard for Nonmetallic Outlet Boxes, Flush-Device Boxes, and Covers*) allow for the use of thread forming screws for the attachment of covers, provided they can pass the performance requirements cited in the standard. This type of screw is typically used with nonmetallic junction boxes and is provided with the box.

Similar provisions have been introduced at 404.10(B) for mounting of switches (see Proposal 9-98 and Comment 9-52) and at 406.5 for mounting of receptacles (see Proposal 18-30 and Comment 18-20) restricting the use of such screws as drywall screws for installing or attaching these devices to boxes.

# 2014 National Electric Code

- Wet Locations

In-use covers shall be  
“extra-duty” type

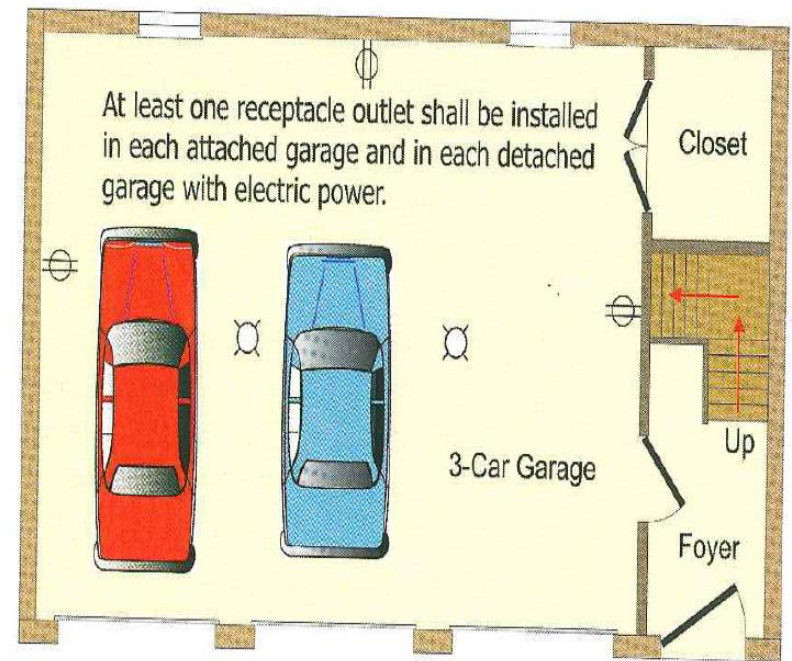


# 2014 National Electric Code

- Garages

To have a separate branch circuit for the garage and with at least one receptacle for each car space

## 210.52(G)(1) Dwelling Unit Garages



The branch circuit supplying this receptacle(s) shall not supply outlets outside of the garage.

At least one receptacle outlet shall be installed for each car space.

# 2014 National Electric Code

- Garages

To have a separate branch circuit for the garage and with at least one receptacle for each car space



# Address Posting

- Multiple lots and developments starting construction make it difficult to confirm addressing.
- Post address near the street of a size large enough to be readily visible from the street. Maintain the posted address.
- At the time of building permit application submittal – address posting must be installed.
- Without a posted address an inspection will not be conducted.



4904



# SFD Landings Outside

## Front Doors

There shall be a floor or landing outside the a door, not more than 1 ½ inches below the top of threshold

Exception – may be no more than 7 ¾ inches lower than top of threshold if only screen door swings over

Landing may not exceed slope of ¼" per foot

Landing must be at least 3' in each dimension

Stair rise and run rules apply  
Handrail and guardrail rules apply



# SFD Landings Outside

## Other Than Front Doors

There shall be a floor or landing on each side of a door not more than 7  $\frac{3}{4}$  inches below the top of threshold.

Exception – two or fewer risers on the exterior side of the door, provided the door does not swing over the stairway.

Stair rise and run rules apply  
Handrail and guardrail rules apply





# Exterior Doors Landing Required

Minimum 3' Least Dimension  
In the Direction of Travel

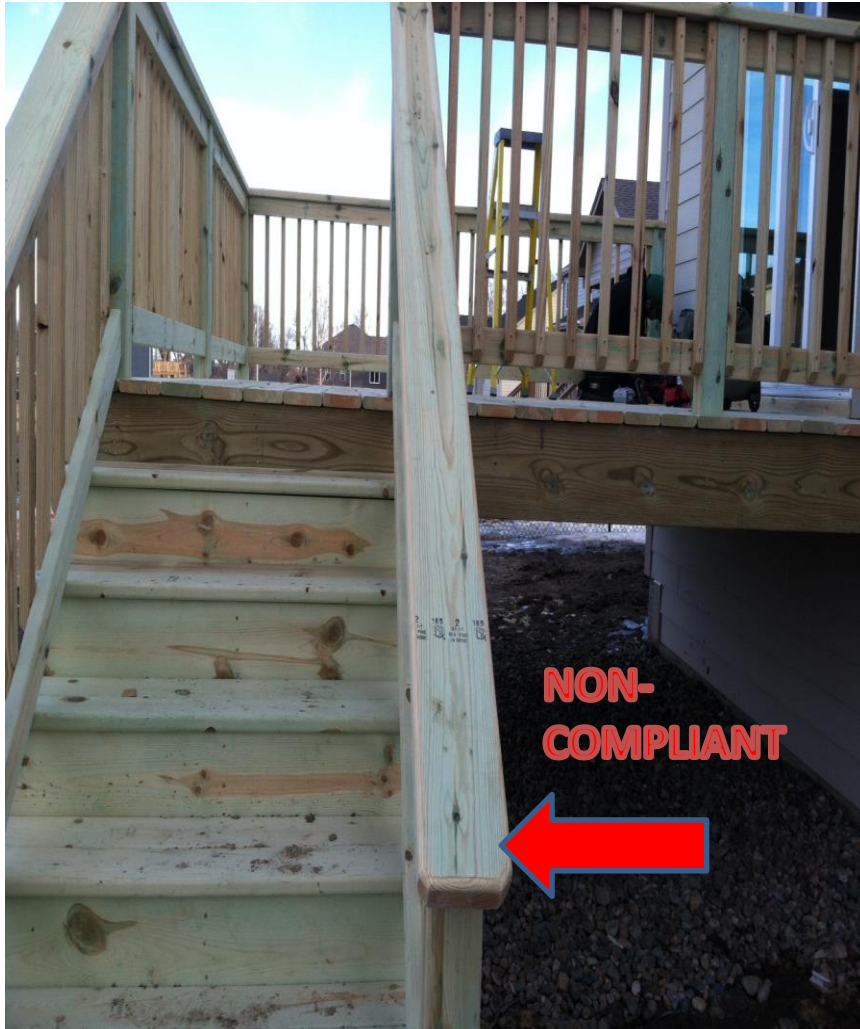
# Exterior Doors Landing Required



Minimum 3' Least Dimension  
In the Direction of Travel

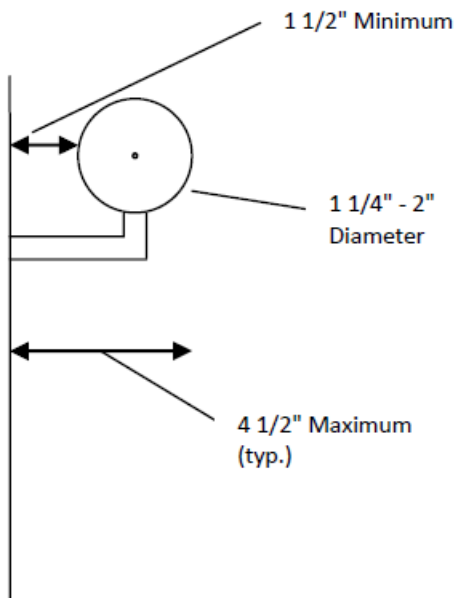


# Deck Handrails

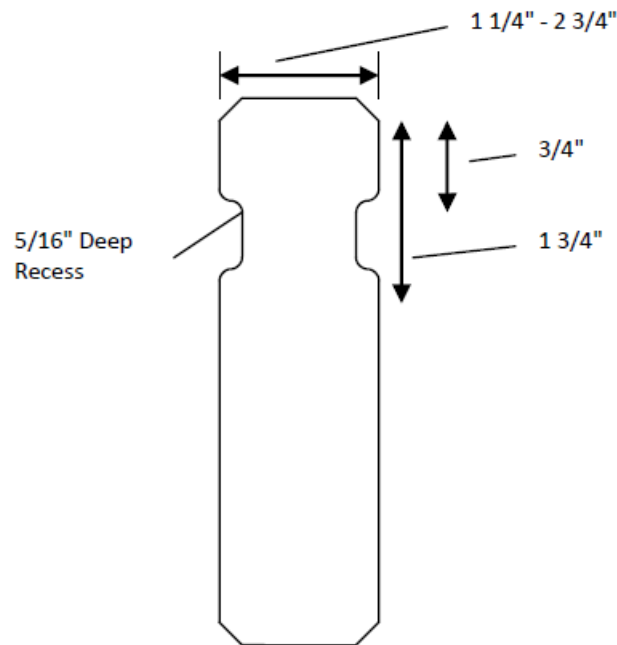


- Type II -Handrails with a perimeter greater than  $6 \frac{1}{4}$ " shall provide a graspable finger recess (groove) on both sides of the profile. The finger recess shall begin within a distance of  $\frac{3}{4}$ " measured vertically from the tallest portion of the profile and achieve a depth of at least  $\frac{5}{16}$ " within  $\frac{7}{8}$ " below the widest portion of the profile. This required depth shall continue for at least  $\frac{3}{8}$ " to a level that is not less than  $1 \frac{3}{4}$ " below the tallest portion of the profile. The minimum width of the handrail above the recess shall be  $1 \frac{1}{4}$ " to a maximum of  $2 \frac{3}{4}$ ". Edges shall

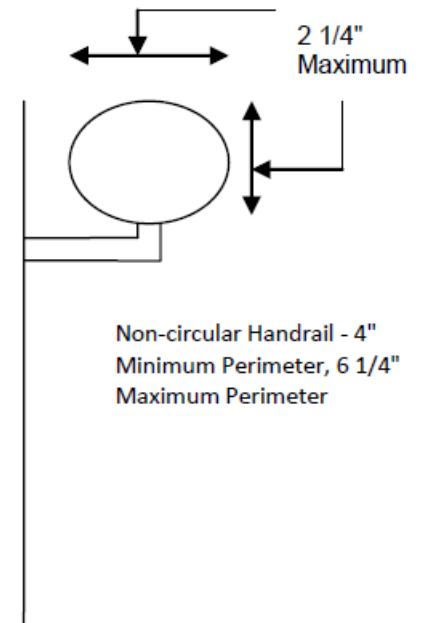
# Deck Handrails



Circular Handrail



Other Shapes



Non-circular Handrail

Allowed Shapes

# Screen Porch Guards

## R312.1.1 Where required.

- Guards shall be located along open-sided walking surfaces, including stairs, ramps and landings, that are located more than 30 inches (762 mm) measured vertically to the floor or grade below at any point within 36 inches (914 mm) horizontally to the edge of the open side. Insect screening shall not be considered as a guard.



# Screen Porch Guards

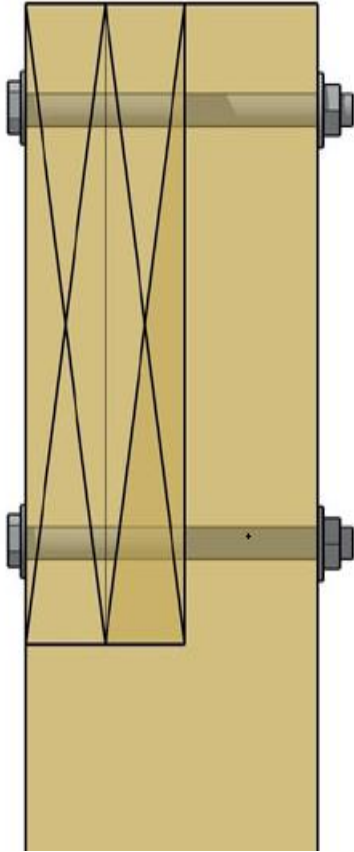
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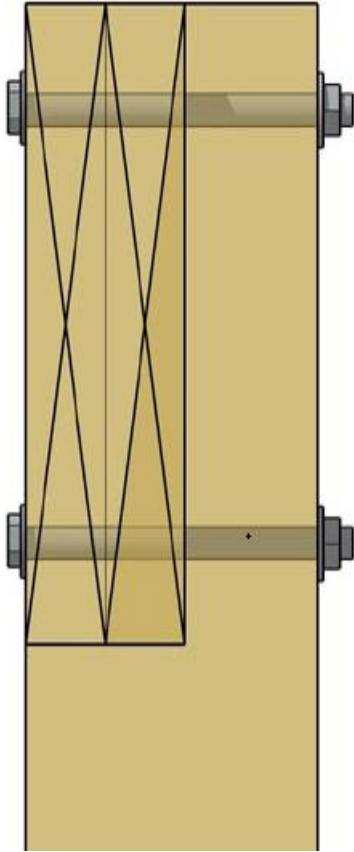




# Decks – Beam to Post Connections



# Decks – Beam to Post Connections



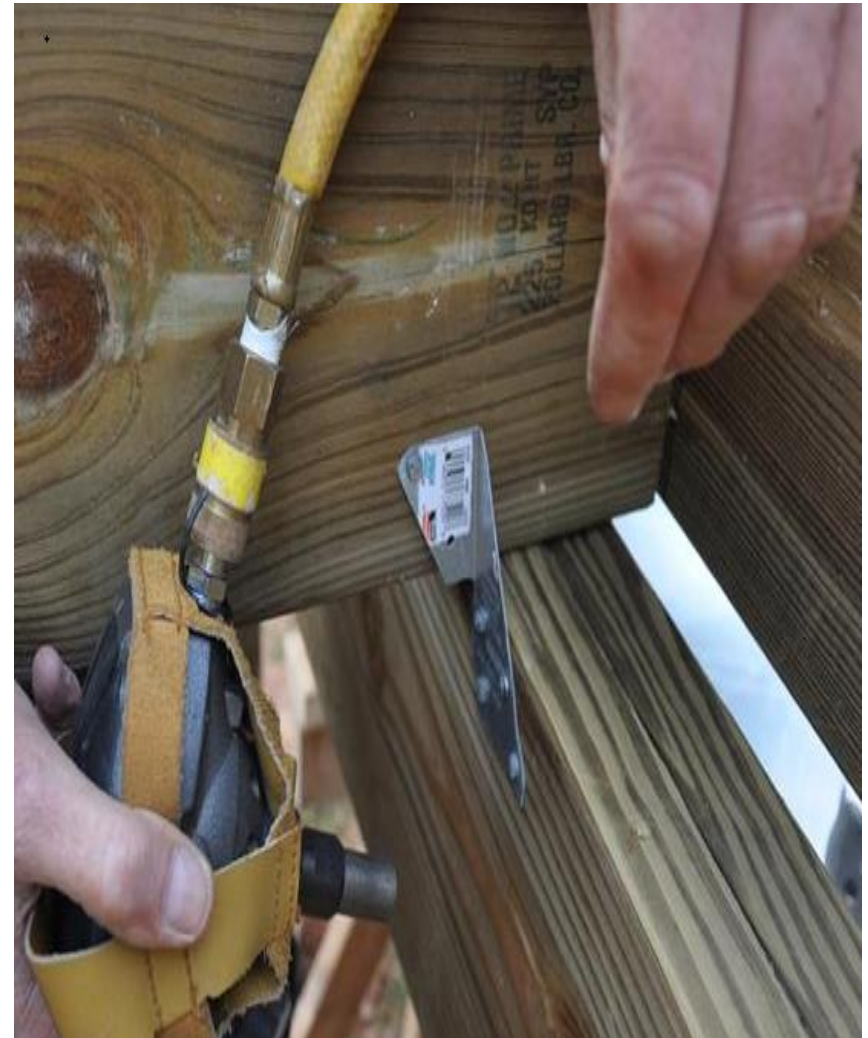


# Decks – Joist to Beam Connections

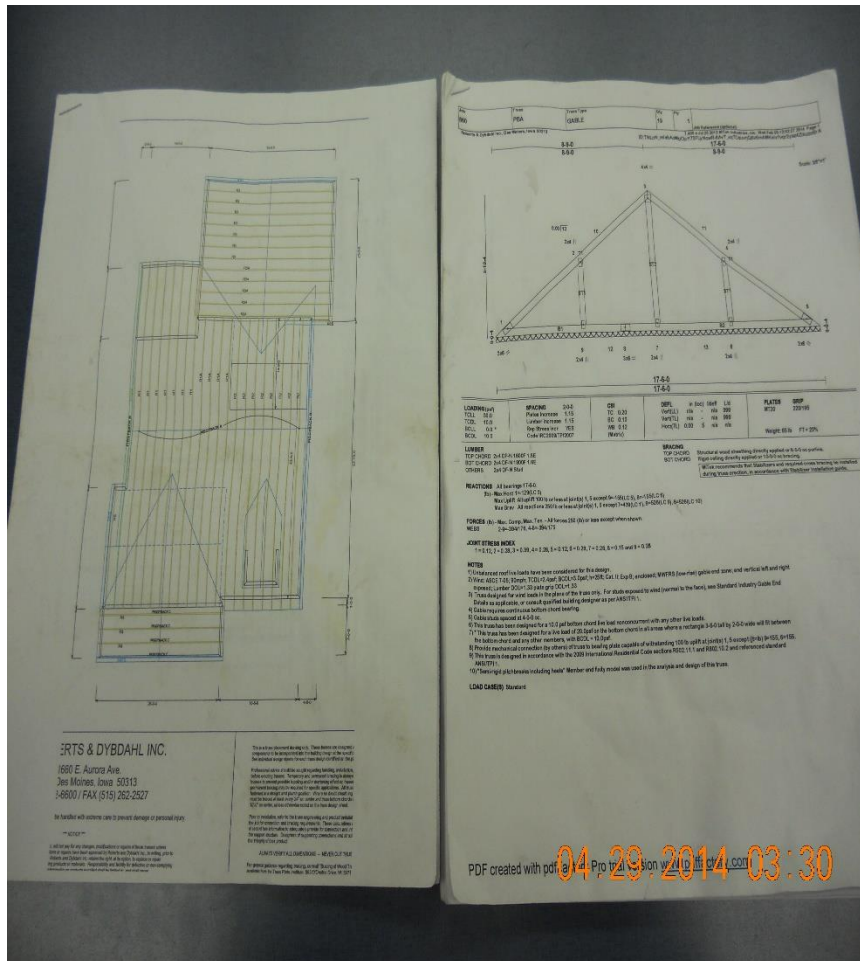
Toenailing is allowed by code –

Minimum 3-8d common

Fasteners must be of approved corrosion resistant materials and shall be of hot-dipped, zinc-coated galvanized steel, stainless steel, silicon bronze or copper

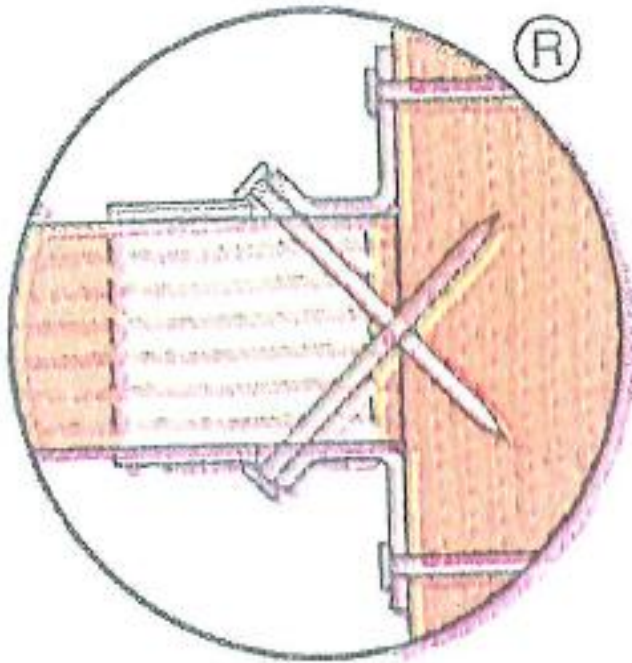


# Manufactured Floor and Roof Trusses



- Provide on site at time of framing inspection whether or not electronic or hard copies were provided with permit submittal.

# Hanger Anchorage

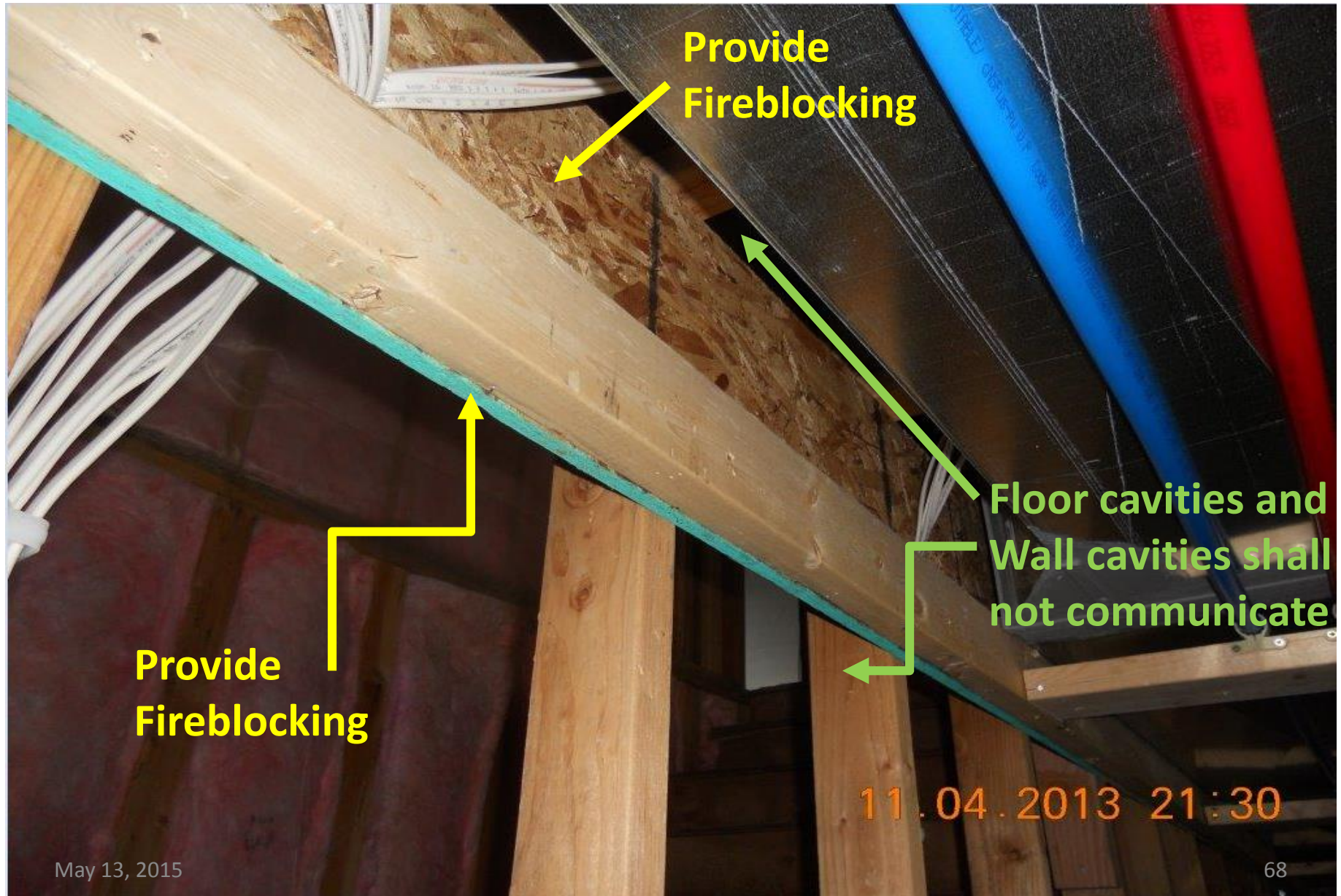


Double Shear  
Nailing (*Top View*)

- Use appropriate nails for the application.
- Install according to the manufacturer/hanger manufacturers' listing.



# Fireblocking



# ONGOING FIELD ISSUES

Development Engineering  
Related

# Final Inspections – Development Engineering Division Related

Whenever questionable infrastructure elements are encountered –

please call  
Development  
Engineering  
before you  
proceed

- Handicap ramps do not line up with sidewalk location
- Fire hydrant is in the way of the sidewalk location
- Manholes or water main valve boxes land in sidewalks or driveways and require adjustment

# ONGOING FIELD ISSUES

## STORM WATER RELATED

# Erosion Control Measures

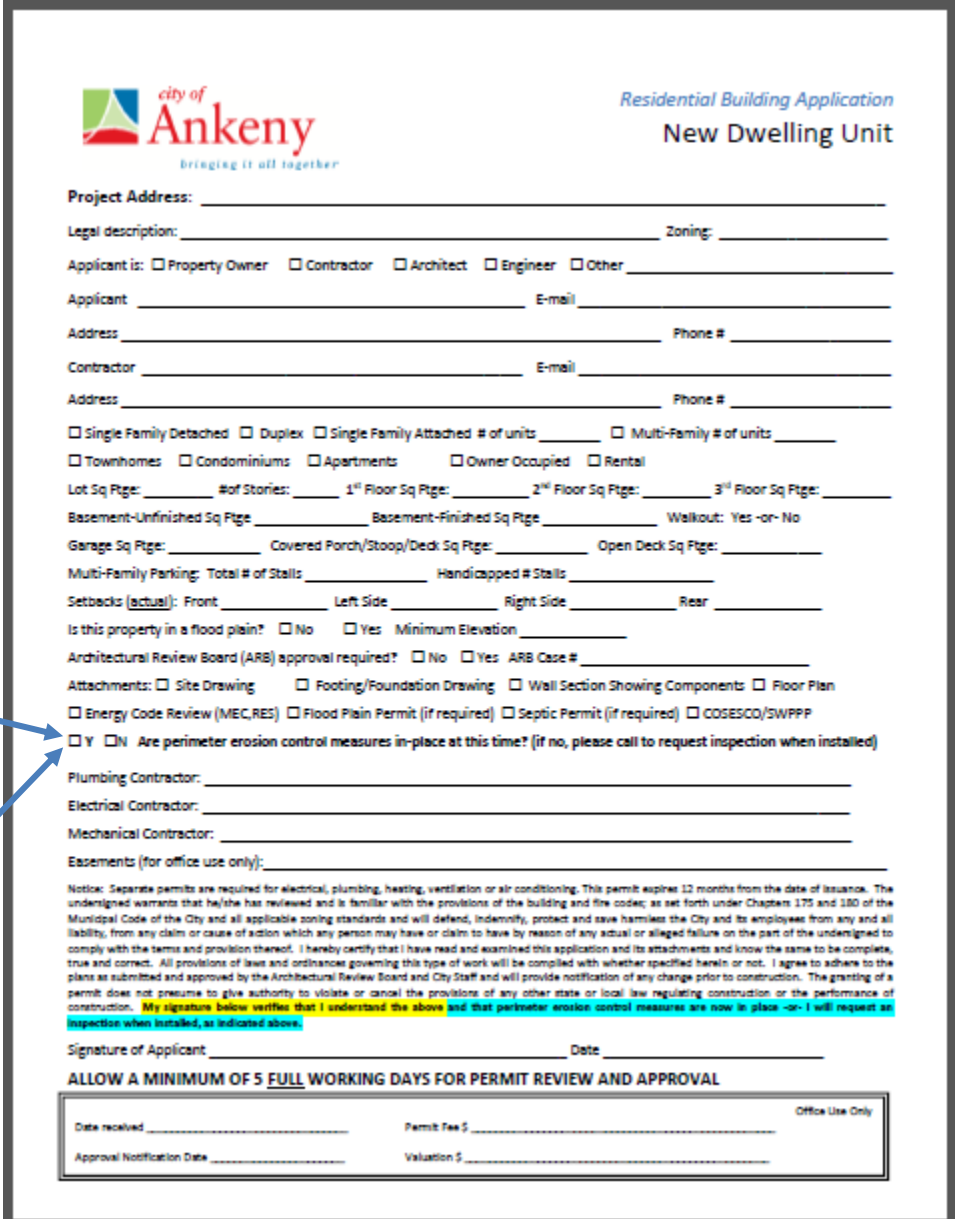
Erosion control measures must be in place before any disturbance and before a permit will be approved.

Have erosion control measures in place when you drop off your app and we'll take it from there.

-Or-

Call to schedule an erosion control inspection when they are installed.

You must have your application submitted prior to any erosion control inspection or inspection request.



The image shows a "Residential Building Application" form from the City of Ankeny. The form is titled "New Dwelling Unit" and includes various fields for project information, applicant details, and property specifications. Two blue arrows point from the text on the left to the form: one points to the "Project Address" field, and the other points to the "Are perimeter erosion control measures in-place at this time?" checkbox.

**city of Ankeny**  
bringing it all together

*Residential Building Application*  
**New Dwelling Unit**

Project Address: \_\_\_\_\_

Legal description: \_\_\_\_\_ Zoning: \_\_\_\_\_

Applicant is: ☐ Property Owner ☐ Contractor ☐ Architect ☐ Engineer ☐ Other \_\_\_\_\_

Applicant \_\_\_\_\_ E-mail \_\_\_\_\_

Address \_\_\_\_\_ Phone # \_\_\_\_\_

Contractor \_\_\_\_\_ E-mail \_\_\_\_\_

Address \_\_\_\_\_ Phone # \_\_\_\_\_

☐ Single Family Detached ☐ Duplex ☐ Single Family Attached # of units \_\_\_\_\_ ☐ Multi-Family # of units \_\_\_\_\_

☐ Townhomes ☐ Condominiums ☐ Apartments ☐ Owner Occupied ☐ Rental

Lot Sq Ft: \_\_\_\_\_ # of Stories: \_\_\_\_\_ 1<sup>st</sup> Floor Sq Ft: \_\_\_\_\_ 2<sup>nd</sup> Floor Sq Ft: \_\_\_\_\_ 3<sup>rd</sup> Floor Sq Ft: \_\_\_\_\_

Basement-Unfinished Sq Ft: \_\_\_\_\_ Basement-Finished Sq Ft: \_\_\_\_\_ Walkout: Yes -or- No

Garage Sq Ft: \_\_\_\_\_ Covered Porch/Stoop/Deck Sq Ft: \_\_\_\_\_ Open Deck Sq Ft: \_\_\_\_\_

Multi-Family Parking: Total # of Stalls \_\_\_\_\_ Handicapped # Stalls \_\_\_\_\_

Setbacks (actual): Front \_\_\_\_\_ Left Side \_\_\_\_\_ Right Side \_\_\_\_\_ Rear \_\_\_\_\_

Is this property in a flood plain? ☐ No ☐ Yes Minimum Elevation \_\_\_\_\_

Architectural Review Board (ARB) approval required? ☐ No ☐ Yes ARB Case # \_\_\_\_\_

Attachments: ☐ Site Drawing ☐ Footing/Foundation Drawing ☐ Wall Section Showing Components ☐ Floor Plan

☐ Energy Code Review (MEC, RES) ☐ Flood Plain Permit (if required) ☐ Septic Permit (if required) ☐ COSESCO/SWPPP

☐ Y ☐ N Are perimeter erosion control measures in-place at this time? (if no, please call to request inspection when installed)

Plumbing Contractor: \_\_\_\_\_

Electrical Contractor: \_\_\_\_\_

Mechanical Contractor: \_\_\_\_\_

Easements (for office use only): \_\_\_\_\_

Notice: Separate permits are required for electrical, plumbing, heating, ventilation or air conditioning. This permit expires 12 months from the date of issuance. The undersigned warrants that he/she has reviewed and is familiar with the provisions of the building and fire codes; as set forth under Chapters 175 and 180 of the Municipal Code of the City and all applicable zoning standards and will defend, indemnify, protect and save harmless the City and its employees from any and all liability, from any claim or cause of action which any person may have or claim to have by reason of any actual or alleged failure on the part of the undersigned to comply with the terms and provision thereof. I hereby certify that I have read and examined this application and its attachments and know the same to be complete, true and correct. All provisions of laws and ordinances governing this type of work will be complied with whether specified herein or not. I agree to adhere to the plans as submitted and approved by the Architectural Review Board and City Staff and will provide notification of any change prior to construction. The granting of a permit does not presume to give authority to violate or cancel the provisions of any other state or local law regulating construction or the performance of construction. My signature below certifies that I understand the above and that perimeter erosion control measures are now in place -or- I will request an inspection when installed, as indicated above.

Signature of Applicant \_\_\_\_\_ Date \_\_\_\_\_

**ALLOW A MINIMUM OF 5 FULL WORKING DAYS FOR PERMIT REVIEW AND APPROVAL**

Date received _____	Permit Fee \$ _____	Office Use Only
Approval Notification Date _____	Valuation \$ _____	



# COSESCO – Erosion Control Plan

- Jared Bright
- Storm Water Coordinator
- 963-3534
- [www.ankenyiowa.gov](http://www.ankenyiowa.gov)
  - Municipal Utilities
  - Stormwater Utility

For City Use:  
Permit No. Issued \_\_\_\_\_  
Date issued \_\_\_\_\_

Construction Site Erosion and Sediment Control (COSESCO)  
Information to be Submitted with Building Permit Application

Site Street Address: \_\_\_\_\_

Part A. Choose one:

☐ the above address is covered under the State General Permit #2 as a part of the larger development of \_\_\_\_\_ (plat)

☐ I have obtained State General Permit #2 coverage for this address as required by the developer.

Part B. Choose one:

☐ I am the permittee of the development/plat referenced above.

☐ I have accepted a transfer of liability and am solely responsible for General Permit #2 compliance on my site.

☐ I have not accepted a transfer of liability. The responsible party is \_\_\_\_\_

Part C. Choose one:

☐ I am submitting a Stormwater Pollution Prevention Plan (SWPPP) for this site (if developer requires that the builder obtain their own State General Permit #2).

☐ I am submitting a site plan with erosion controls shown and this form.

Part D. COSESCO Contact Information:

Applicant name \_\_\_\_\_

Applicant e-mail \_\_\_\_\_

Applicant address \_\_\_\_\_

Applicant phone \_\_\_\_\_

Applicant Signature \_\_\_\_\_ Date \_\_\_\_\_

As it relates to storm water controls and lot protection the following processes must be followed in order to secure a building permit and to continue work uninterrupted. (see attachments/enclosures)

**INSTALLATION OF EROSION CONTROL MEASURES, INCLUDING A CONCRETE WASHOUT AREA AND SITE CONTROL FENCING WHEN ADJACENT TO A DEVELOPED LOT MUST BE IN PLACE PRIOR AT THE TIME OF PERMIT APPLICATION SUBMITTAL.**

**Building Permit Approval Procedure:**

- Submission of:
  - Complete application
  - Building plans
  - Site plan
  - Energy Affidavit
  - COSESCO documentation and site plan showing location of erosion control measures, temporary rock drive, concrete washout area and adjacent developed lot fencing
- **A building permit will not be issued authorizing any construction to proceed unless and until all of the above are in place.**

**Temporary rock/all weather access:**

- Within seven (7) days of foundation installation -and/or- within three (3) days of sewer/water/storm installation a temporary rock/all weather surface site access shall be installed. Access on and off the site shall be limited to this location
- Temporary rock/all weather access shall be a minimum of eight (8) inch depth a minimum of eight (8) feet in width within a ‘cored-out’ area extending from the back of curb to the front setback line and shall consist of aggregate/material of 1” and larger size and shall be predominantly free of fines.

**Interim Inspections**

- At any time during the construction of a project Planning and Building Department personnel and Storm Water personnel will perform inspections to ensure that adjacent lot protection and storm water control features are present and functional.

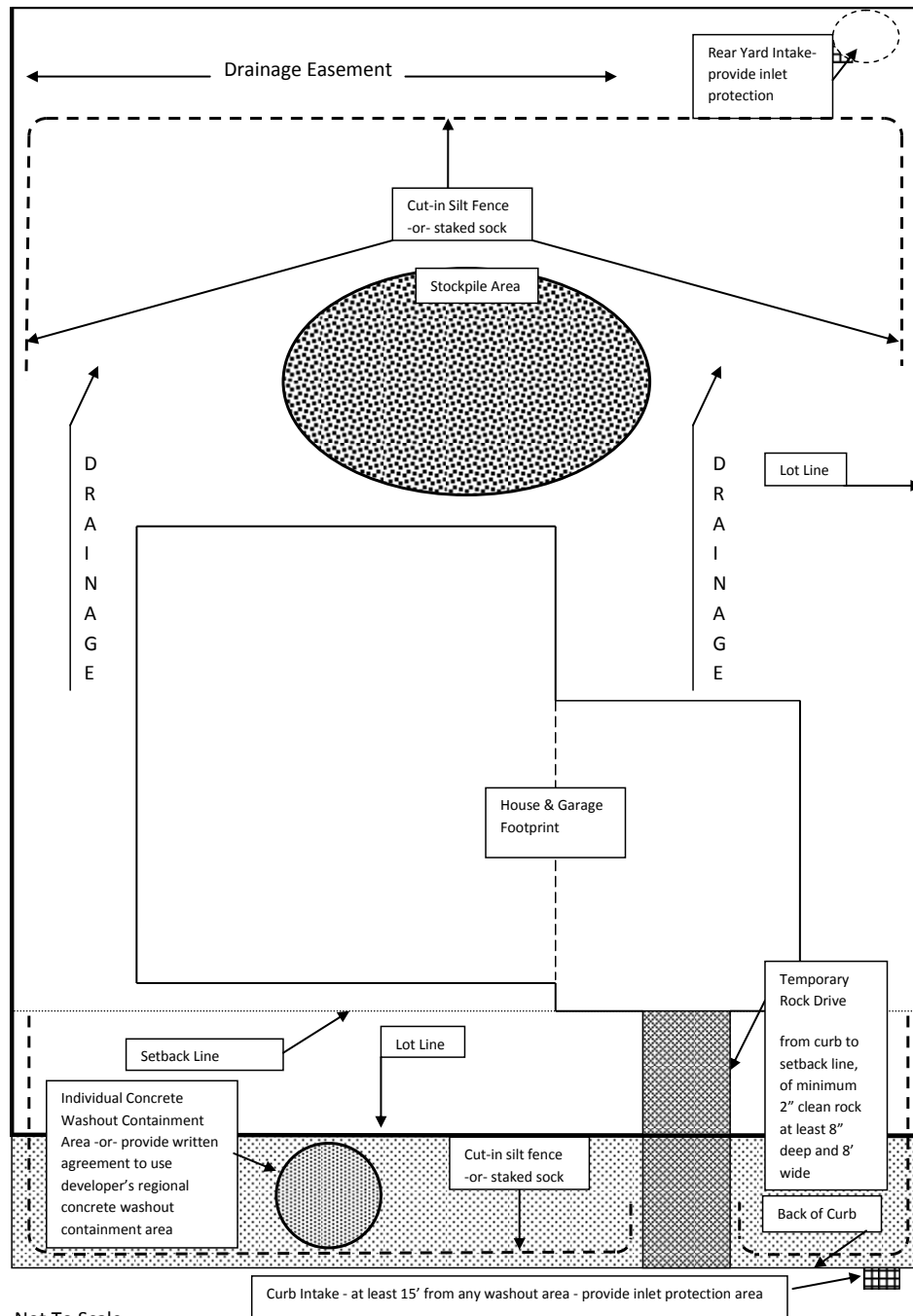
**Final Stabilization Inspection - Certificates of Occupancy**

- Fully sodded/fully vegetated lots may be issued a final Certificate of Occupancy if all other aspects of the project have been inspected and approved
- Lots that are not sodded/fully vegetated may be issued a temporary Certificate of Occupancy with a maximum twenty one (21) day timeframe. These lots shall maintain in-place erosion control features until lot is sodded/fully vegetated.
- Exception: cold weather months, depending on weather condition, of November through April may be issued a temporary Certificate of Occupancy. Regardless of weather conditions, these lots shall maintain in-place erosion control features until lot is sodded/fully vegetated.

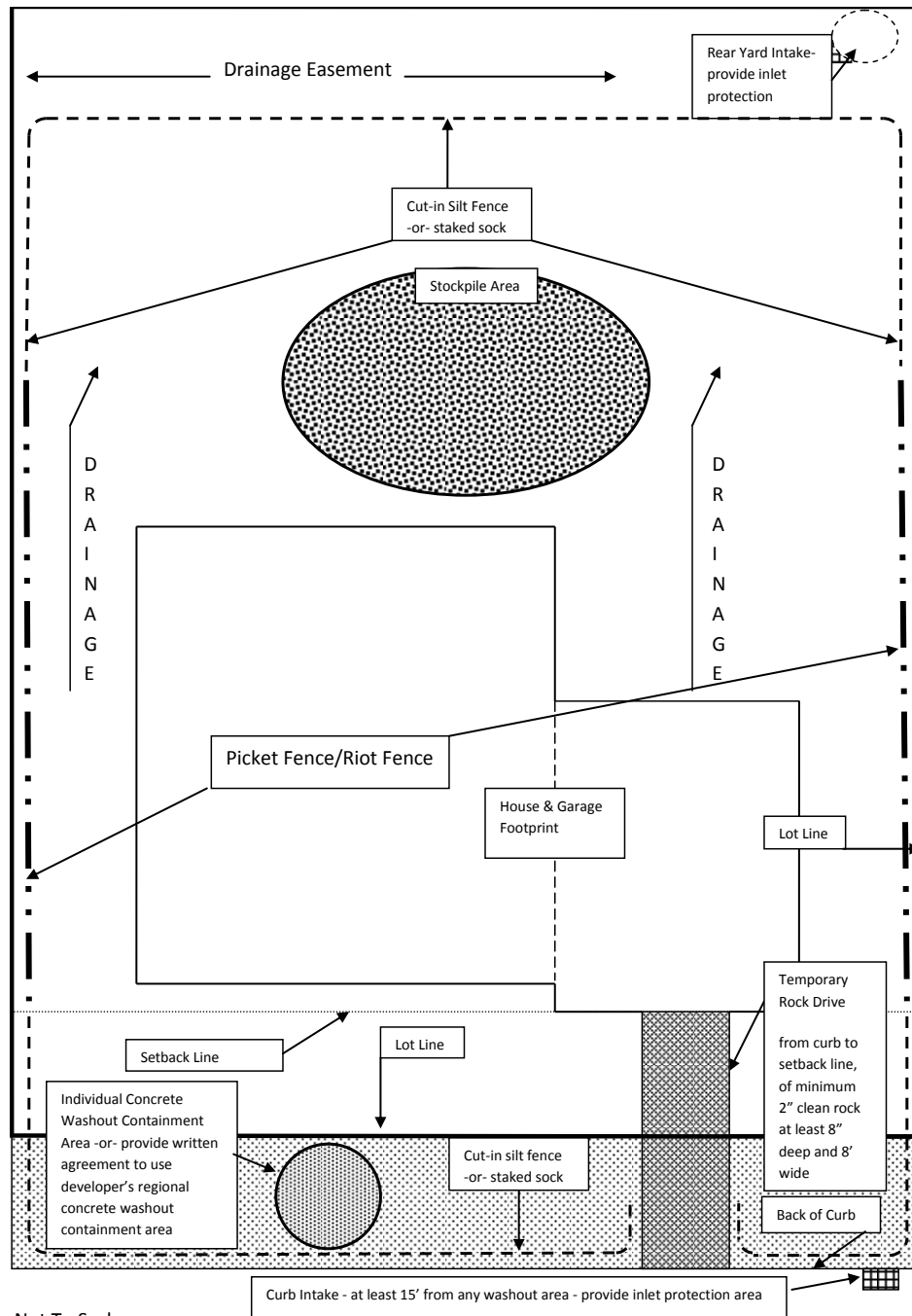
**At any time upon a finding of non-compliance a Stop Work Order will be posted and a pre-citation will be issued to the builder with a one (1) day timeframe for obtaining compliance (weather permitting). If compliance is not obtained within one (1) day a citation will be issued for that day of non-compliance and each day thereafter. The initial day of non-compliance carries a penalty of seven hundred fifty (\$750) dollars and each subsequent day thereafter carries a penalty of one thousand (\$1000) dollars.**

# STORMWATER – EROSION CONTROL PRACTICES – YOUR CONTINUED HELP IS NEEDED

Your  
sites  
should  
look  
like  
this



Your  
sites  
should  
look  
like  
this



# Items Needing Your Attention

## Perimeter Controls



- Lots shall be 'contained' so as to prevent runoff and track-off. Place controls along street.

# Items Needing Your Attention

## Perimeter Controls



- Lots shall be ‘contained’ so as to prevent runoff. Place controls on the downhill sides of lots.



# Items Needing Your Attention

## Perimeter Controls



- Lots shall be 'contained' so as to prevent runoff. Place controls along any adjacent watercourse.

# Items Needing Your Attention

## Temporary Site Access



- Lots shall be contained so as to prevent track-off.
- It is suggested that the temporary site access – rock drive area be located where the permanent drive is to be installed and that it be cored-out to accommodate the depth of granular material.
- Use of the temporary site access – rock drive aggregate as a subgrade for the permanent driveway makes good sense.



# Items Needing Your Attention

## Temporary Site Access



A temporary site access - rock drive shall be installed within 7 business days of foundation installation or within 3 business days of sewer/water/storm installation whichever occurs first. The driveway shall be constructed to a minimum width of 8 feet and shall extend from the back of curb to the front setback line. Aggregate shall be large enough to carry all loads and shall be a minimum of 8 inches deep. **LARGE ROCK** is strongly recommended!

# Items Needing Your Attention

## Maintenance of Controls



Interim inspections may occur at any time during construction. A finding of non-compliance will be cause for immediate posting of a Stop Work order.

A follow up inspection will not be conducted until the next business day.

# Items Needing Your Attention

## Maintenance of Controls



- 
- Ongoing maintenance is required.
  - Expect Stop Work Orders to be posted.
  - Follow up inspections will be conducted no earlier than the next business day.
- 



# INTERIM INSPECTIONS

## STOP WORK

City of Ankeny  
Office of Building Official

### NOTICE

**Address:** \_\_\_\_\_

This property has been inspected and Construction Site Erosion and Sediment Control features are found to be non-compliant. Corrective action shall be taken immediately to remedy this state of non-compliance. No other work shall be allowed on this site until approval of corrective action is granted. **Ankeny Municipal Code Chapter 169**

*Jeff Anderson*

\_\_\_\_\_  
Building Official

\_\_\_\_\_  
Date

When corrections are complete call Jared Bright, Storm Water Coordinator for re-inspection @ 515-963-3534.

**Do not remove this notice under penalty of law.**

Interim inspections may occur at any time during construction. A finding of non-compliance will be cause for immediate posting of a Stop Work order by City personnel.

Within 24 hours a compliant installation shall be confirmed or a citation may be issued.

Do not expect a phone call or email. This is your responsibility.



# CICC

Central

Iowa

Code

Consortium

Consistency

In

Code

Correlation

# CICC

## Objectives

- The purpose of the CICC is to review, discuss, and make recommendations regarding construction and maintenance codes.
- The CICC will not make recommendations or changes to the administrative provisions of any code.
- Permits, permit process, fees, appeals etc. will be left to each community to adopt and amend these provisions as they see fit.

# CICC

## Goals

- Provide for a collaborative effort between all participating communities to improve consistency in the adoption and enforcement of construction and maintenance codes in the metro area.
- Provide for majority of communities adopting the same 'I' Codes' cycle at the same time.
- Reduction of minor inconsequential differences in codes due to different editions adopted.
- Rules for retention of necessary community based amendments.

# CICC

## Objectives

- To develop, recommend and promote regional regulations pertaining to construction and maintenance codes in Central Iowa;
- In collaboration with the design and construction industries, to develop, maintain and promote regional adoption of nationally recognized codes, standards and related documents in Central Iowa;
- To advance the cause of regional uniformity in the adoption, application and interpretation of regulations for the construction, alteration, conservation, maintenance, preservation or repair of buildings, structures, equipment and fixtures in Central Iowa;
- To advise and assist participating members in the administration of construction and maintenance codes and related activities;

# CICC

## Objectives

- To serve as experts on technical code requirements and code administration matters to local, regional and State elected officials, State Agencies, local and regional boards and commissions, construction trade councils and associations; and building design and construction industries;
- To promote communication and understanding between building and fire department professionals and the design and construction industries;
- To do all other things which are incidental to or desirable for the attainment of the above stated objectives.

# CICC

## Codes' Review

- National Electric Code
- International Energy Conservation Code
- International Fire Code
- International Building Code
- International Existing Building Code
- International Residential Code
- International Mechanical Code
- International/Uniform Plumbing Code
- International Fuel Gas Code
- International Swimming Pool and Spa Code
- International Property Maintenance Code



# CICC

## Codes' Review Committees

- Each code review committee will be made up of four governmental members and three representing industry;
- These committees will be represented by the following professionals depending on the code:
  - Code Official, Code Administrator, Plans Reviewer, Code Inspector
  - Licensed/Registered Designer
  - Trades' Master Licensee
  - Trades' Licensed Designer
  - Energy Raters and Designers
  - State Representative

# CICC

## Code Review Committees

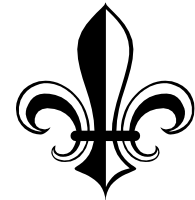
- **Electrical (NEC)/Energy Codes (IECC)** -provides technical expertise and support on electrical matters as they relate to the adoption, enforcement, application and interpretation of the provisions of the adopted electrical code and standards and CICC amendments. Provides technical expertise and support on energy conservation matters as they relate to the adoption, enforcement, application and interpretation of the provisions of the adopted energy conservation codes and standards and CICC amendments.
- **Fire Code (IFC)** –provides technical expertise and support on fire and life safety matters as they relate to the adoption, enforcement, application and interpretation of the fire and life safety provisions of the adopted fire codes and standards and CICC amendments.
- **International Building Code (IBC)/International Existing Building Code (IEBC)** -provides technical expertise and support on commercial construction as they relate to the adoption, enforcement, application and interpretation of commercial construction code and standards and CICC amendments
- **International Residential Code (IRC)** -provides technical expertise and support on residential construction matters as they relate to the adoption, enforcement, application and interpretation of the provisions of the adopted residential construction code and standards and CICC amendments.
- **Mechanical (IMC)/Plumbing (UPC or IPC)/Fuel Gas Codes(IFGC)** –provides technical expertise and support on mechanical, plumbing and fuel gas matters as they relate to the adoption, enforcement, application and interpretation of the provisions of the adopted mechanical, plumbing and fuel gas codes and standards and CICC amendments.
- **Pool & Spa (ISPSC)/Property Maintenance (IPMC)** -provides technical expertise and support on residential swimming pool/spa construction matters as they relate to the adoption, enforcement, application and interpretation of the provisions of the adopted residential swimming pool/spa code and standards and CICC amendments. Also provides technical expertise and support on property maintenance matters as they relate to the adoption, enforcement, application and interpretation of the provisions of the adopted property maintenance code and standards and CICC amendments
- **Joint Fire/Building Committee** -provides technical expertise and support on matters that are shared sections in the fire and building codes as they relate to the adoption, enforcement, application and interpretation of the adopted building and fire codes and standards and CICC amendments.

# CICC

## Looking Ahead

- Tremendous Opportunity to Gain Consensus on Codes in Central Iowa
- CICC focuses on blending stakeholders
- Together we can institute positive change!
- Apply for a code committee!

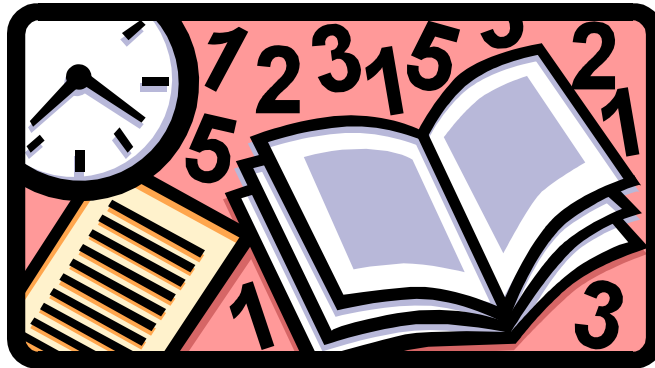
Cooperation, organization and  
communication!



General contractors are responsible  
for their projects and must  
coordinate site and inspection  
activities of all trades!

# HELP US TO HELP YOU!

- Allow time for permit review, inspection scheduling, final inspections and C.O. Issuance!



# HELP US TO HELP YOU!

- Be a good neighbor!
- Cooperation and organization are key elements!





# Questions



# In Closing

- Another construction season is again well underway.
- We hope this information, and in some cases gentle reminders, will help us keep things running smoothly.
- Please never hesitate to call - we are always more than happy to make ourselves available for discussion.

... and

*Thank you  
for helping  
build the  
City of Ankeny*